



Ministry of Gender, Family and Social services
Republic of Maldives

**Development of an Elderly Village at Addu City under
Design, Build, Finance and Operate Public Private
Partnership Model**

S.Feydhoo

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1. Project Background

Demographic ageing carries unique challenges in protecting the rights of the elderly. They are often faced with specific threats to their rights as they get older. Age discrimination, increased dependence on others, reduced autonomy and sociocultural expectations all plays a role in creating barriers to social participation and meaningful engagement. As such, ageing can come at the cost of withdrawal from one's family and the community. Such situations can increase the vulnerability of the older people in our community, if specific policies are not created to address and prevent this at all levels.

The Elderly Policy of the Maldives endorsed in 2019 reinstates the importance of upholding the dignity and protection of the rights of the Elderly. The country's constitution guarantees equal rights to women and men regardless of their age.

One of the key Development targets reflected in the Strategic Action Plan of Maldives is to Establishment an Elderly home by 2023. Under the Social Protection policies of a Caring State, Strategy (2.4.4.1c of Policy 4.1 indicates the development of two Homes in in two regions of Maldives.

The concept of this facility will have an elderly care center, which is a walk-in service, and a residential facility where elderly who are taken under state care will be placed in the residential facility. The facility will also provide those elderly who wants to stay voluntarily in the facility due to various reasons such as social issues.

The residents of this home are categorized into 3 types.

1. Paid Residential Care (Private residents)
2. Vulnerable elderly people under state care
3. Day care users

Current mandate of the Government ensures in implementing National Policies for the protection of elderly and vulnerable groups of people, providing protection for the vulnerable group of people and their families, to assess the emerging issues and tackle them with the relevant institutions.

The Ministry of Gender, Family and Social Services (MGFSS), as part of the National Mandate to protecting the rights of the elderly, has the primary responsibility to:

- Formulate, acquire resources, implement, and monitor policies for the protection and well-being of the elderly.

- Establish, review, and implement national mechanism (with other related ministries) to ensure safer protection for the rights of the elderly.
- Assure safer social protection for the elderly.
- Coordinate with relevant state authorities to conduct social protection programs.
- Identify emerging issues that hinder protection and rights of the elderly, and coordinate with relevant authorities to eliminate these issues.
- Establish procedural guidelines.
- Establish state care institutions to provide protection and services for the elderly and/or facilitate the provision of services through private organizations while ensuring protection.
- Create public awareness on safeguarding the rights of the elderly.
- Provide psychosocial support to the elderly facing any deprivation of rights or violence.
- Conduct awareness programs at island, atoll and national level to empower and protect the rights of the elderly.

2. Rationale

Principle aim is to provide a person-centered environment with the highest quality of care, ensuring a comfortable and supportive environment where individuality, dignity and quality of life are paramount to the residents. The village also aims to minimize the amount of older people taken under state care. The home will be established with the following principles as guideline:

- Privacy/Rights: All basic human rights valued, while respecting privacy
- Dignity: the understanding of residents needs and treating them with respect
- Independence: Creating an independent environment which allows residents to make own decisions, think and act
- Choice/accomplishment: Opportunity to select from a range of options that enables residents to enable achieve in all aspects

3. Objectives

To meet the client's needs the all the services provided within the elderly village is designed to achieve the following objectives:

- Provide an enabling environment to residents in relation to vulnerability as age determines. In this respect the design of the elderly village should meet the requirements of a recognized accredited quality standard.
- To deliver a service of the highest quality that will improve and sustain the service user's overall quality of life. In this respect the care service is designed to meet the requirements of a recognized accredited quality standard, but in a people centered approach.
- To ensure the services is delivered in a flexible, attentive manner, and in a non-discriminatory way while respecting each service user's right to independence, privacy, dignity, fulfilment, and the rights to make informed choices and to take risks.
- To ensure that services are delivered in accordance with agreed consent and contracts of care with the individual/ guardian.
- To ensure that all services are delivered by trained staffs with the Guidance of Best Practice information.
- To ensure decisions made by individuals/ guardian prior to admission, and ongoing services is in relation to a legal framework regarding welfare and financial security.
- Evaluate and improve the quality of overall facility and services of the elderly village by orienting all staffs who are working on the importance of holistic care and rehabilitation.
- To facilitate individuals to participate in the review process.

4. Proposed Modality

Proposed model for the development and operation of elderly village is Public-Private Partnership model, whereby private partners will play a vital role in the development, running and operation of the institutes.

Public Private Partnership Model

In line with the above objective, MoGFSS seeks for a private investor to Design, Build, Finance, and Operate an Elderly Village with complimentary support facilities under a Public-Private Partnership (PPP) model.

Under the Public-Private Partnership (PPP) model, the private partner/investor (an industry representative) may use their name/business name in running of its operations. Investor may propose to build commercial areas and conduct business activities in the land area allocated for revenue generation. However revenue generation can only be allowed for activities that are relevant to the work that is being done at the premises. For Eg: Pharmacy, Clinic on Geriatrics or elderly care.

The role of the government under the PPP model will be;

- To set minimum required standards, inspect and monitor facilities and operation.
- Elderly support of MVR 5000 (USD 324.25), per month, provided by the government for each of the residents. (Maximum 70 Residents under state care)
- Complimenting support facilities such as medical facilities including nursing care facilities provided as part of the overall project. Medical services will be fully covered by the national social health insurance scheme of the Maldives, Aasandha as per their terms and conditions.
- The National Social Protection Agency (NSPA) will provide all the medical assistive devices for the elderly as deemed necessary

5. Development of the Elderly Village

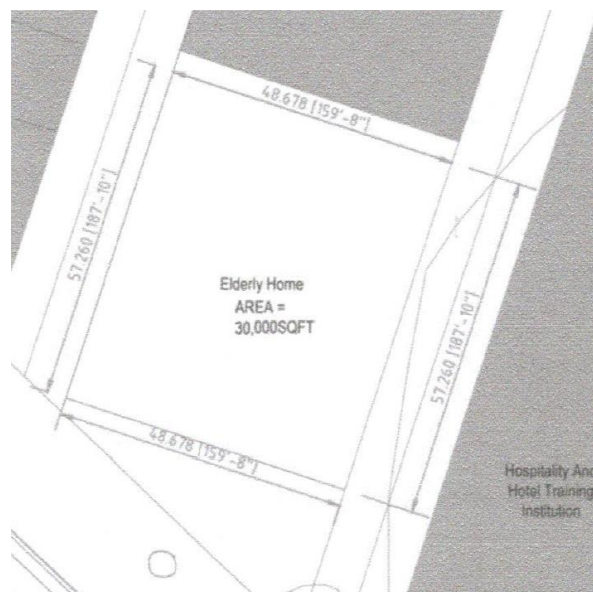
Land Acquisition

The government will provide land/facility for long term use under the PPP model. MoGFFS shall secure and provide the land required to establish the facility.

Land Area

S.Feydhoo

Plot area available for the construction and development of elderly village and Accommodation Block is **30,000** square feet (sq.ft). Under the Public-Private Partnership model, the private partner (an industry representative) may utilize the land area for other revenue generating options, provided that it does not affect the primary goals of these institutes and shall be approved from MoGFSS. Other revenue generating activities should align with what is being done at the premises.



Site plan



Location of Elderly Village, S.Feydhoo . Lat -0.685571° Lon 73.130591°

Proposed Agreement Period

The length of the concession period for the operation and maintenance of the facility is 25 years, with an option to extend up to 50 years

Benefits / Revenue Streams

- Under the PPP model, the private partner (an industry representative) may utilize the land area for other revenue generating options (examples Ayurveda Medical Clinics or Wellness Centre) if it does not affect the primary goals of the facility and shall be approved from MoGFSS. (See Potential Commercial Options for more details)
- No rental fees will be charged from the private party for the acquired land plot. (as part of government contribution for the project).
- A sum of MVR 5000 (USD 324.25), per month, provided by the government for each of the residents referred through the government. (Residents supported by Government should not exceed more than 70 residents)
- Private parties may propose their own terms as they deem fit in the development and operations of the Elderly Village as long as the primary requirements are met. Such terms shall be agreed upon with MoGFSS at the agreement stage. This will be evaluated only after the submission of proposals.

Social Benefits

The Elderly Village is expected to provide opportunities for a person-centered environment with the highest quality of care, ensuring a comfortable and supportive environment where individuality, dignity and quality of life are paramount to the residents.

- Independence: Creating a physical environment which supports and encourages an independent and self-enhancing lifestyle.
- Social & Lifestyle: Providing an enabling environment which caters to each individuals' social needs and lifestyle choices.
- Connectedness and linkages: Creating linkages to various other sources of social interactions on and off site.
- Diversity: Create an environment where different views and beliefs are encouraged.
- Sustainability: Create a physical environment that supports the internal functions and the residents to be socially, ecologically, and financially feasible for a long term
- Enabling and evolving: Provide an enabling environment which can cater to the needs of the individuals.
- Affordability: Provide an affordable and reasonable service.

Additionally, new job opportunities will be created in the island, which in turn bring in more revenue, thus enriching the livelihood of people. This is further expected to benefit the established businesses directly and indirectly within the island.

Structure and Facilities

- The project scope will include the design, build, finance and operate an Elderly Village with nursing care facilities and complimenting support facilities, as deemed necessary for delivering the objectives of the project.
- The government will establish quality standards and monitor accordingly.
- Medical services shall be developed to provide integrated healthcare services that address the mental and physical health needs of the elderly by trained professionals.
- The resident area shall be developed in a homelike scale, and in a manner comprising small group living spaces with natural light and views of the outdoors. Residents should have access to outdoor spaces, gardens, and walking paths. The design of the building should consider free movement of senior citizens using wheelchairs, and other mobility tools.
- Geriatric care including facilities for the residents who needs personalized care. (Physical health + Mental health + Therapy and rehabilitation)
- Housekeeping service to clean the residential areas, including storage and laundry facilities provided for residents on a sharing basis.
- Safety and security:
 - to be ensured, with properly trained and skilled security personnel deployed at required locations and installation of CCTV cameras including regular monitoring of the CCTV footage’.
 - to be ensured, with emergency exit plan, including fire and safety system and emergency evacuation.
- Dietary staff should provide a balanced menu with meals to satisfy the individual residents’ dietary needs, plus additional nourishments.
- Shared kitchen for residents to cook, wash and clean if needed, with a shared dining area.
- Outdoor and Indoor recreation areas provided for age appropriate recreational activities and entertainment such as a garden area with seating, library and a multipurpose hall.
- Minimum Human resource requirements as stated by the government.
- Regular programs should be carried out to enhance social cohesion, teamwork and fitness among the residents.

Spatial requirements

Accommodation Type	Floor Allocation [SQFT]
Government Allocated Accommodation	13000
Care Home - Single Occupancy	
Care Home - Double Occupancy	
<i>*To accommodate maximum 75 persons at any given time</i>	
Retirement Villaments for Private Residents	11000
Single Occupancy Retirement	
Double Occupancy Retirement	
Day Care Service	3000
Single Occupancy	
Double Occupancy	
Support Areas	
Staff Rooms	431
Staff/Nursing Station	280
Treatment Areas	560
Area List	
Common Toilets & Corridors	1041
Lobby and Reception	277
Administration	139
Kitchen, Stores and Dining Area	902
Unisex Saloon & Laundry	139
Prayer Room	139
Common Room for Residents	2289
Medical Shop	100
Convenience Store	172
Generator Room	172
Security Room	172
Parking	888
Building Services (Waste, Stairs & Lifts, Ramps, Universal Accessibility)	250
Open and Landscaped Area	5000
TOTAL BUILT UP AREA	39950

Potential Commercial Opportunities

Club House Complex

Indoor Swimming Pool

Indoor Gym

Recreation Zone

Library

Coffee Shop & Restaurant

Multipurpose Hall / Auditorium

Prayer Hall

Bowling Alley

Spa

Sports Hall (Badminton & Table Tennis)

Art Gallery

Any other facility (please specify)

Outdoor Facilities

Swimming Pool

Open Air Gym

Sculpture Garden

Amphitheatre

Tennis Court

Miniature/Mini Golf

Any other facility (please specify)